

A DISTINCTIVE
COLLECTION OF
FAMILY HOMES

DONCASTER

Belle Vue

An exclusive development of beautifully crafted three and four-bedroom homes made for modern family life

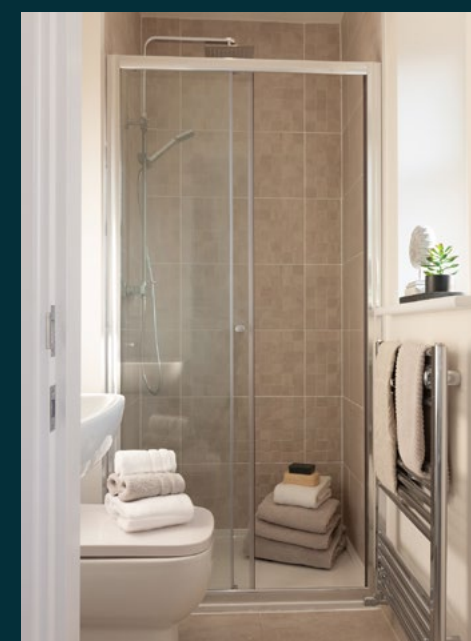
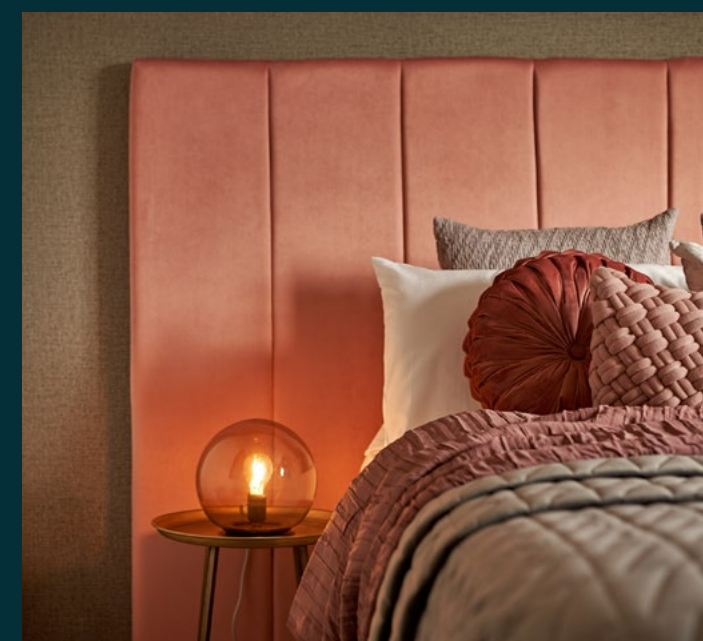
Welcome to Belle Vue, a collection of stylish homes ideally located on the edge of the city centre and close to Lakeside. This is modern living with a personal touch, designed to make everyday life easier and a little more special.

Inside, you'll find thoughtful layouts, light-filled rooms and high-quality finishes at every turn. Sleek kitchens with a single oven and ceramic hob, designer bathrooms with modern fittings throughout for easy living and added style. French doors open onto private gardens, blending indoor comfort with outdoor space.

Outside, paved patios and landscaped gardens mean your outdoor space is ready to shine from the moment you move in. Every home is fitted with solar panels as standard, cutting your bills and your carbon footprint.

You're close to everything you need, with great outdoor walks, parks and green spaces on your doorstep. Excellent schools, local shops, restaurants and leisure facilities – and always well-connected with effortless access to local amenities and easy transport links across the city.

Belle Vue is the perfect place to call home.



The Canterbury



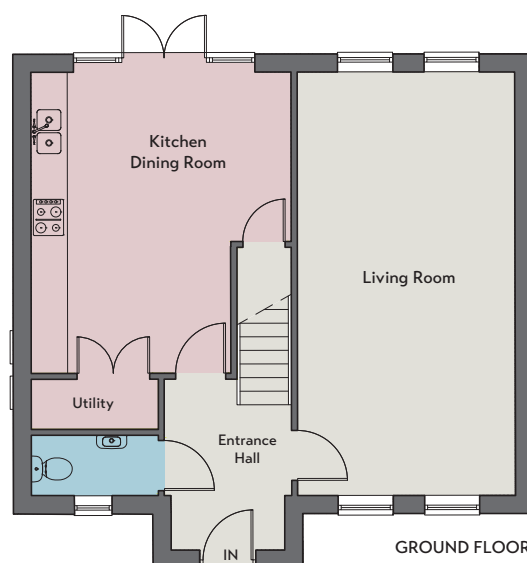
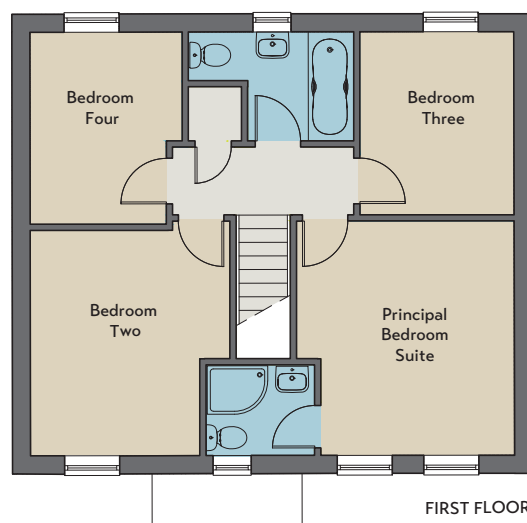
A SMART, SPACIOUS FOUR-BED HOME WITH ROOM FOR EVERYTHING AND EVERYONE

The Canterbury is designed for family life, with flexible spaces that work for quiet evenings, busy mornings, and everything in between.

At the front, a bright dual-aspect lounge is made for relaxing. At the back, the open-plan kitchen and dining area opens straight onto the garden, ideal for sunny days and weekend get-togethers. A handy utility cupboard adds extra convenience, keeping everyday essentials neatly tucked away.

Upstairs, four well-sized bedrooms offer space for growing families, home offices, or visiting guests. The principal bedroom benefits from its own en-suite, while the family bathroom is stylish and practical. The detached garage adds useful storage and parking..

Make it yours with a choice of kitchen styles and flooring options. Solar panels come as standard, helping your home run more efficiently every day.



Ground Floor

Living Room
7 x 3.6 / 23'0 x 11'10

Kitchen / dining room
5 x 4.3m / 16'5 x 14'1

Garage
3.4 x 6.4m

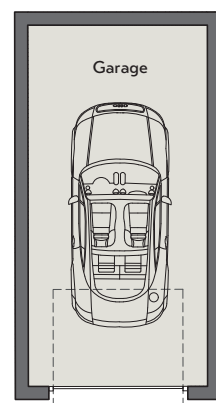
First Floor

Principal Bedroom Suite
3.9m x 3.6 / 12'10 x 11'10

Bedroom Two
3.3m x 3.7 / 10'10 x 12'2

Bedroom Three
3 x 2.6 / 9'10 x 8'6

Bedroom Four
3.1 x 2.5 / 10'2 x 8'2



The Ashford



A FLEXIBLE THREE-BED HOME THAT FITS YOUR LIFE

The Ashford is a modern three-bedroom semi-detached home that's big on space, style and everyday comfort.

Step through the door and into a bright hallway that flows through to a generous open-plan living, dining and kitchen space. Patio doors open out to the rear garden, filling the room with light and offering the perfect spot for everything from big family entertaining to morning coffee.

Upstairs, two double bedrooms and a third single give you the flexibility for guests, kids or a home office. The main bedroom has its own en-suite, and there's a perfectly placed, modern family bathroom.

Like all homes at Belle Vue, the Ashford includes solar panels as standard and offers options to personalise key finishes and features, so your home feels just right from day one.

Ground Floor

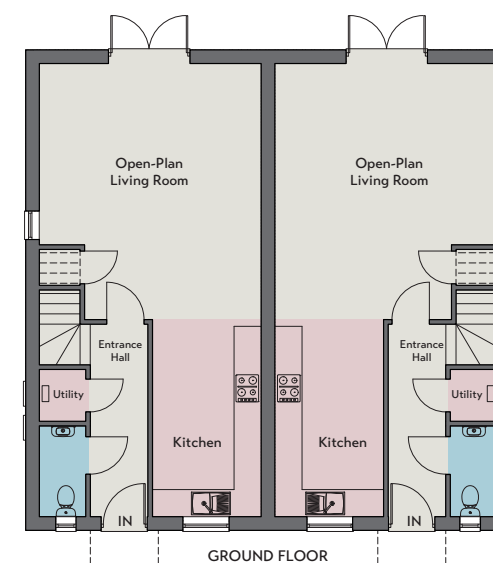
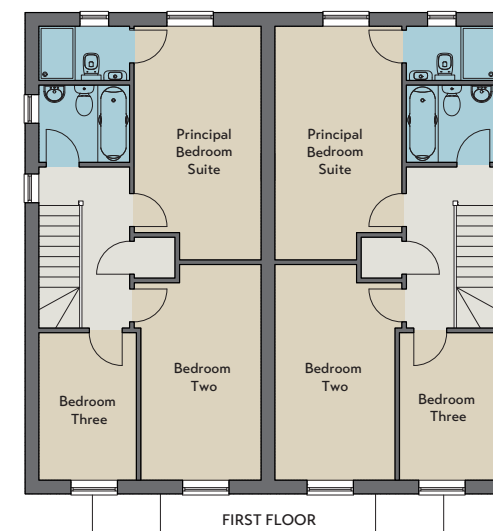
Open-Plan Living Room & Kitchen
4.9 x 10m / 16'12 x 32'10

First Floor

Principal Bedroom Suite
5.1 x 2.8m / 16'9 x 9'2

Bedroom Two
4.8 x 2.7m / 15' 9 x 8'10

Bedroom Three
3.3 x 2.2m / 10'10 x 7'3



BelleVue

Perfectly placed for work and play



LIFE AT BELLE VUE MEANS HAVING IT ALL ON YOUR DOORSTEP

Feel like stretching your legs? Head down to Lakeside for a scenic walk, energising run, or a breezy bike ride along one of the many paths and trails.

Need to let off some steam? The Dome Leisure Centre has it all: a multi-pool water park with flumes, a top-spec gym, ice rink, and events all year round. It's fitness and fun rolled into one.

When it's time to refuel, Herten Triangle is packed with food spots for every craving, wrapped around the Vue Cinema, ideal for movie nights and date days alike.

The adventure continues at Yorkshire Wildlife Park, just a short drive away. Meet over 475

amazing animals, from polar bears and lemurs to giraffes and wallabies – a roaring good time for all ages!

For aviation buffs, the South Yorkshire Aircraft Museum is a must-see, filled with history and hands-on exhibits. Prefer peace and quiet? Potteric Carr Nature Reserve is a tranquil escape full of birdsong, winding trails, and wildlife surprises.

Live entertainment, race days, and more await at Doncaster Racecourse, just a walk away. Fancy a round of golf or catching

a match? Town Moor Golf Course and the Eco-Power Stadium are right around the corner.

Shopaholics rejoice! Lakeside Village offers big brands at outlet prices, and you're just minutes from Frenchgate and Wheatley Shopping Park too.

Add in Sandall Park's lakes and picnic spots...

WELL CONNECTED, WHEREVER YOU'RE HEADING

Belle Vue offers excellent road and rail links, making commuting, days out, and getting back home easy.

- **City centre**
A short walk or 5-minute drive.
- **Doncaster Station**
5 minutes by car, with direct trains to London, Leeds and Sheffield.
- **Road**
Quick access to Junction 3 of the M18 links you to the A1(M) and M1 for journeys across Yorkshire and beyond.

EXCELLENT EDUCATION

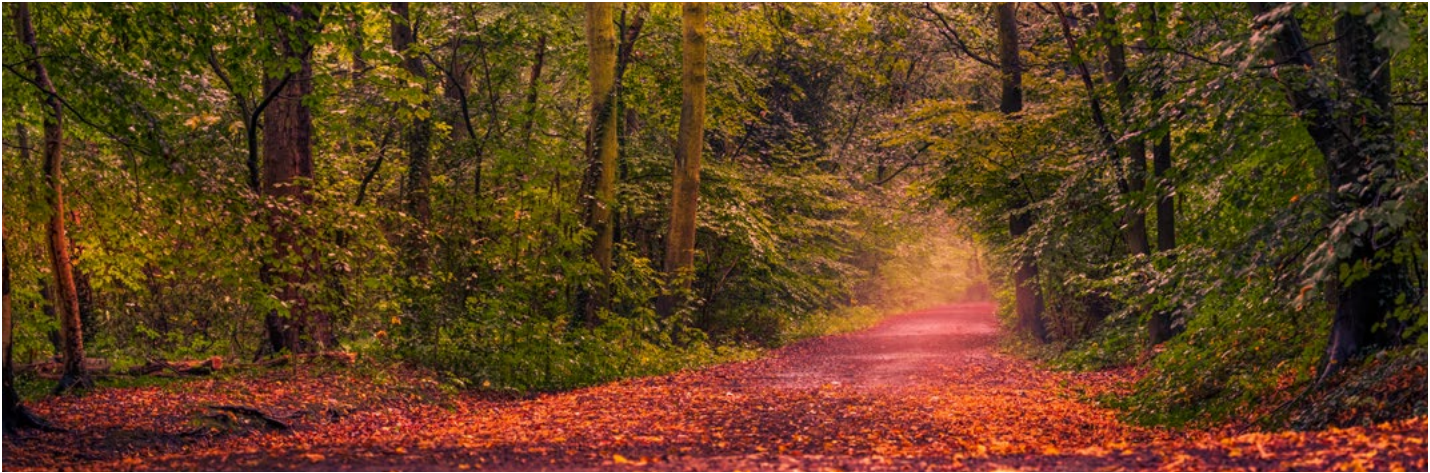
Great schools, right where you need them.

- **Lakeside Primary School**
15-minute walk
- **XP Secondary School**
15-minute walk

Plus, many more across Doncaster with easy access by car or public transport.

The Ashford
PLOTS 1, 2, 4, 5

The Canterbury
PLOT 3



Extraordinary homes as standard

OUTSIDE

- Paved paths and patio area
- Landscaped garden
- Garden fencing
- Double glazed UPVC windows
- Composite front door
- French doors to rear garden
- Outdoor wall lights
- UPVC fascias, soffits and gutters
- Solar panels
- Garage*

INSIDE

- Stylish internal doors and hardware
- Gas central heating
- Smoke detectors on all floors
- White radiators
- White finished skirting boards and architraves

KITCHENS & LIVING AREAS

- Open-plan contemporary kitchen
- Personalise with a choice of doors, handles and worktops
- Integrated single electric oven
- Ceramic hob and extractor with splashback
- Stainless kitchen sink and mixer tap
- Television and telephone points
- Understairs storage*

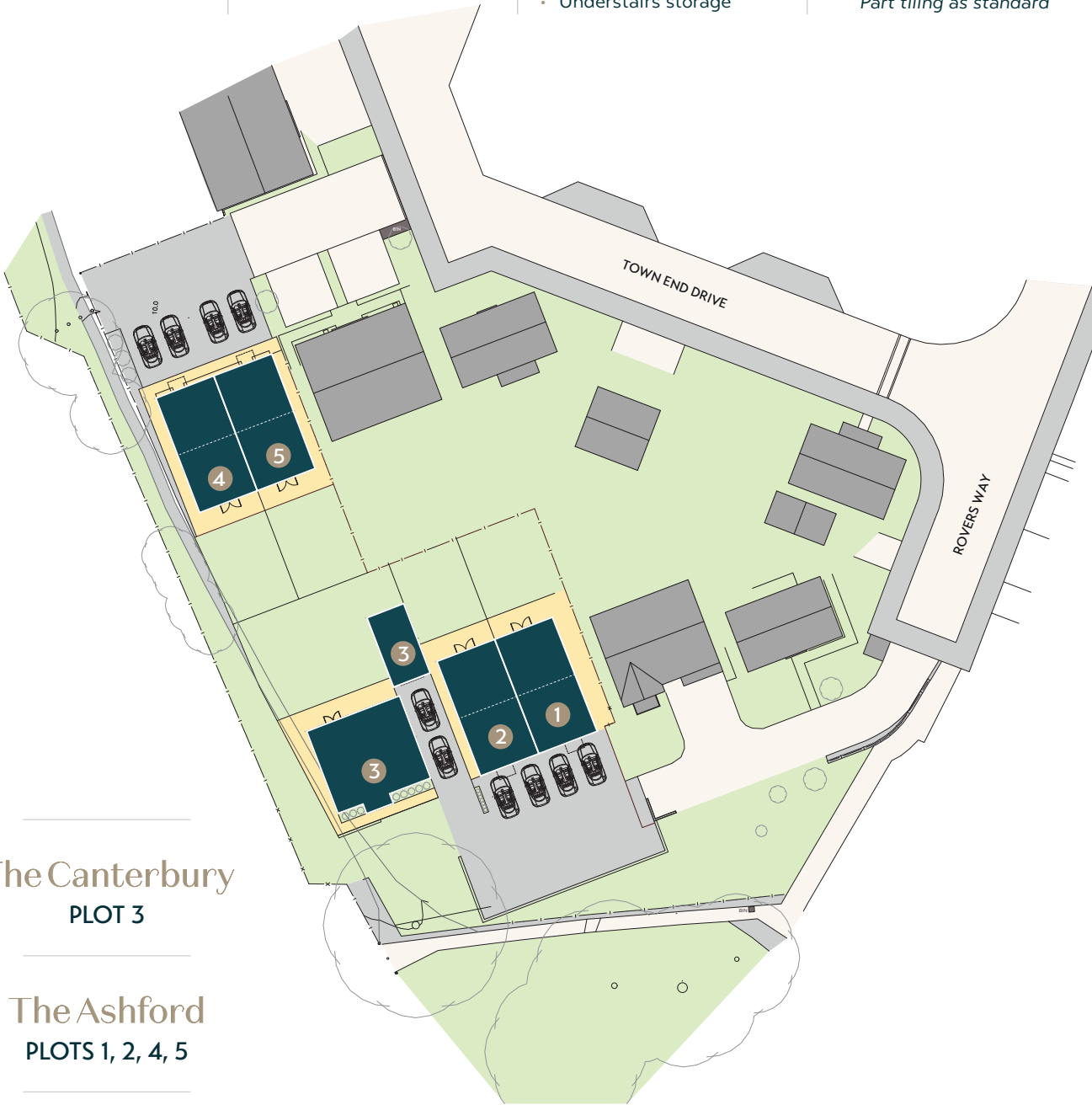
BATHROOM AND EN-SUITE

- Modern bathroom and en-suite sanitary-ware
- Tiling to floor and walls^
- Mixer shower and chrome taps
- Heated chrome towel rail

WARRANTY

- 10-year new home warranty and 2-year aftercare service

* Plot specific
^ Part tiling as standard



The Canterbury
PLOT 3

The Ashford
PLOTS 1, 2, 4, 5

Why Swan Homes?

A boutique housebuilder devoted to our craft, with generations of experience. We're passionate about building beautiful homes that you'll fall in love with.

From the location and materials, to the smallest of design details, we work tirelessly to make sure all our homes give

something more, from day one, and for years to come.

Each room is carefully considered to meet the needs of modern living, where stunning design and functional spaces work together perfectly to create a home that makes every day more delightful.

Every home we build has the same meticulous attention to detail.

All this because we care as much as you do about creating your dream home.

We can't wait to start the journey with you.

Packages to help get you moving

EASY MOVER

Our Easy Mover package helps take a load off

If you're ready to buy your new home and chain-free, we'll make it as easy as possible with £500 towards your legal costs.¹

Making it your own

One of the most exciting parts of the Swan Homes journey is making it your own.

We'll give you £1,000 to spend on extras and upgrades of your choice, so you can give your brand new home that personal touch inside and out.¹

We're here to help

Buying your new home can be daunting, but don't worry, our team are on hand to help make it hassle free.

From selecting your plot to getting your keys, we're here to help you through the process every step of the way.

With a Swan Home, the only surprises are happy ones.

ASSISTED SALE+

We'll pay your Estate Agent fees and legal costs

Reserve your new home while your old house is on the market, safe in the knowledge that our team of trusted, local experts will help you to sell your existing property at the right price.

We appoint two local Estate Agents to value your property. They provide a recommendation report from their full market appraisal. We'll discuss this report with you, and don't worry, we'll never ask you to sell your property for less than the market value. If you're fully satisfied, you can instruct agents and continue to reserve your new Swan Home.

When your property is on the market, we stay in close contact with the agent to ensure your property is getting the best attention.

Once you've accepted an offer and have a completed chain, we'll provide sales progression checks to help you proceed to exchange contracts as quickly as possible.

Optionally, if you decide to use one of our panel of solicitors and our approved Independent Financial Advisor, we'll give you up to £3,000 towards your Estate Agent fees and an additional £500 towards your legal costs.²

Terms & Conditions

Easy Mover
1: £500 towards legal costs is available if using a solicitor from our panel and our approved financial advisor for the mortgage.

Our Easy Mover package is subject to status and availability and may be withdrawn without notice. Reservation fee and terms and conditions apply. Choice of extras and upgrades are subject to availability and the build stage of your home.

Assisted Sale+
2: Estate Agent fees contribution up to a maximum of 1.5% of the purchase price of your new Swan Home (up to a maximum of £3,000) and legal fees up to a maximum of £500.

Our Assisted Sale+ package is subject to status and availability and may be withdrawn without notice. Reservation fee and terms and conditions apply.

Site plans, floor plans and any related property literature included in this brochure are for guidance only.

Drawings and plans are not to scale, and any dimensions, areas or distances given are approximate and for identification only.

Artist's impressions, images and CGI's are for illustration purposes only and intended as a guide. Images featured may contain upgraded items and finishes.

Swan Homes reserve the right to amend property specifications and development details without prior notice.

Correct at time of issue: June 2025.



SWAN HOMES

0330 606 1401

info@swanhomes.co.uk

1, 3 & 5 Rovers Way,
Belle Vue, Doncaster, DN4 5FP

42 & 44 Town End Drive,
Belle Vue, Doncaster, DN4 5FQ

